

# Residential and Commercial Design Guidelines Summary

Summerland Citizens  
Association/SunPAC Joint  
Meeting  
September 9, 2009



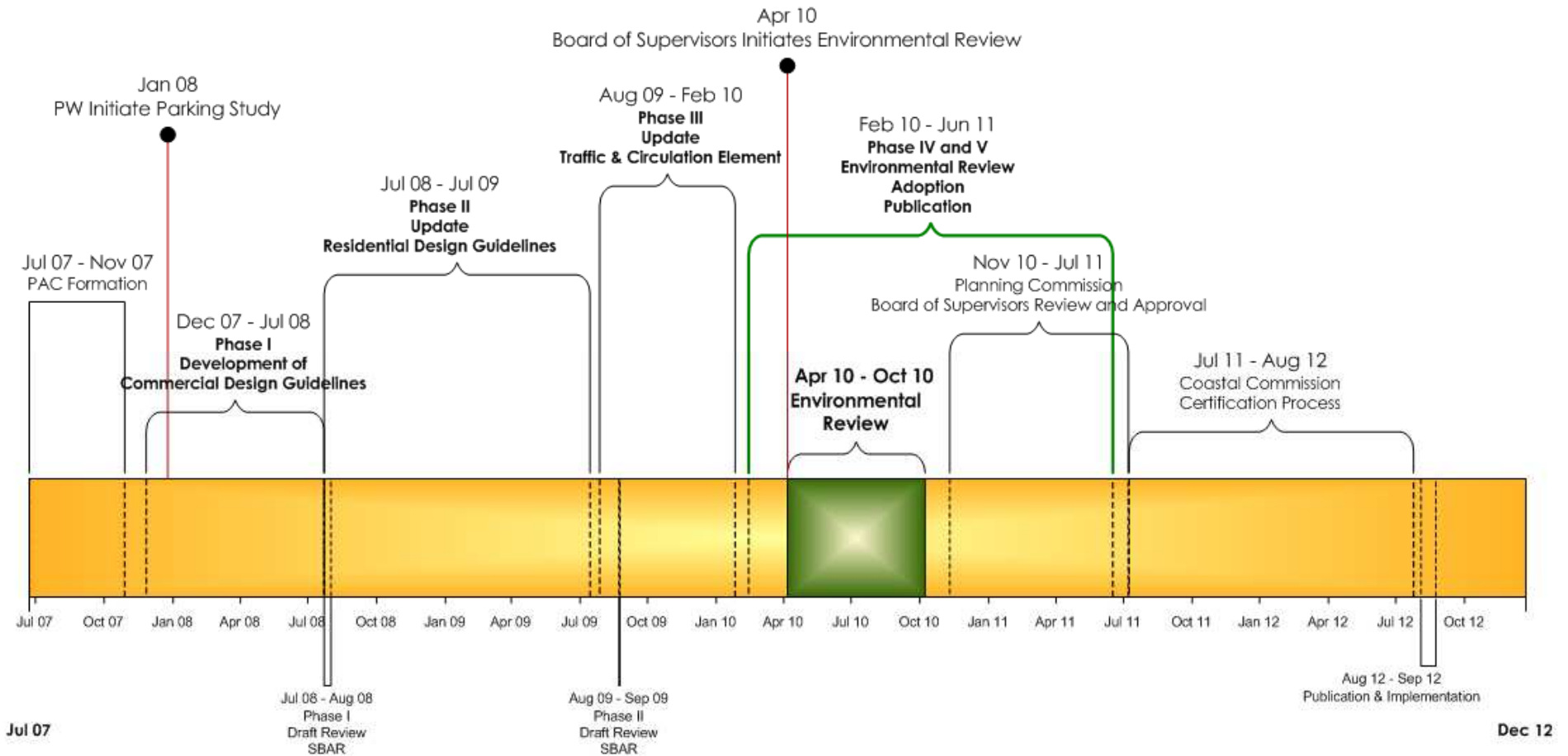
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Slide 1





# Summerland Planning Process



# Major Policy Changes: Residential and Commercial

- FAR and height calculation would be consistent with County methodology

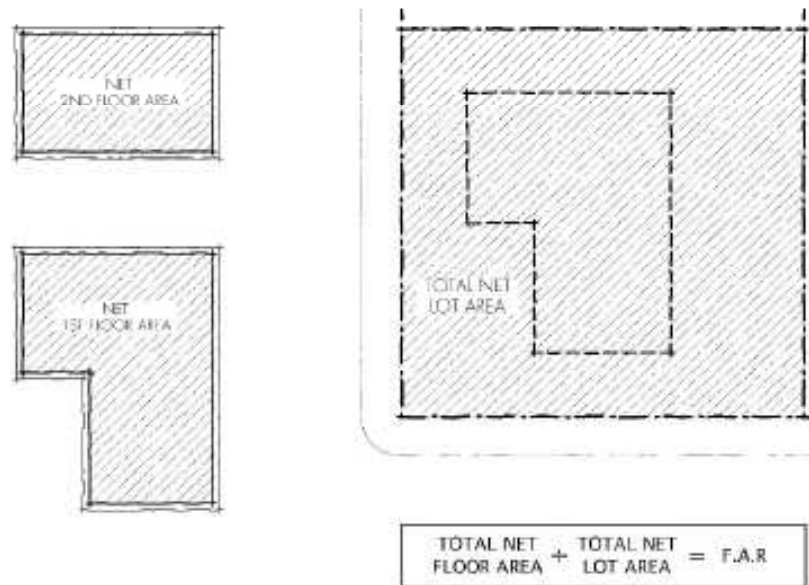


Figure 4.1 – Floor Area Ratio



# Major Policy Changes: Commercial

- Basement definitions
- Modifications for height and FAR allowed per the LUDC
- Setbacks East and West of Valencia



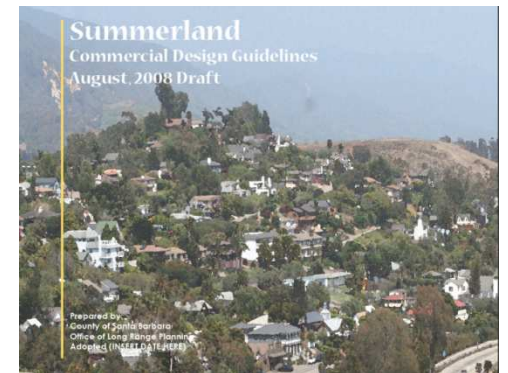
# Major Policy Changes: Residential

- Basement definitions
- Accessory structure FAR limitations
- Protection of private views (not supported by SBAR)



# Commercial Design Guidelines

- SunPAC concerns:
  - Streamline and strengthen existing 1992 BAR guidelines
  - Clarify County guidelines and requirements to ensure more consistency
  - Maintain the unique character of Lillie Avenue
  - Retain the rural and unique feel of Summerland and guard against the “bigger is more” building trend
  - Enhance but not necessarily change Summerland
  - Address development occurring at the “edges” of town
  - Reconnect the community with the ocean
  - Preserve scenic views



# Commercial Design Guidelines: Chapters 1&2

## Chapter 1: Introduction

- Purpose and Applicability, Format and Organization, Legal Authority, Overlay Designations, Review Process, Good Neighbor Practices

## Chapter 2: Neighborhood Character

- History and Neighborhood Character



Figure 2.4 – Illustration of Defined Character Versus Mixed

(Pages 1-16)



# Commercial Design Guidelines: Chapter 3- Site Design

- Topography & Grading
- Setbacks
- Landscape & Hardscape
- Trash, Service, and Loading
- Parking
- ADA
- Privacy & Views
- Building Placement

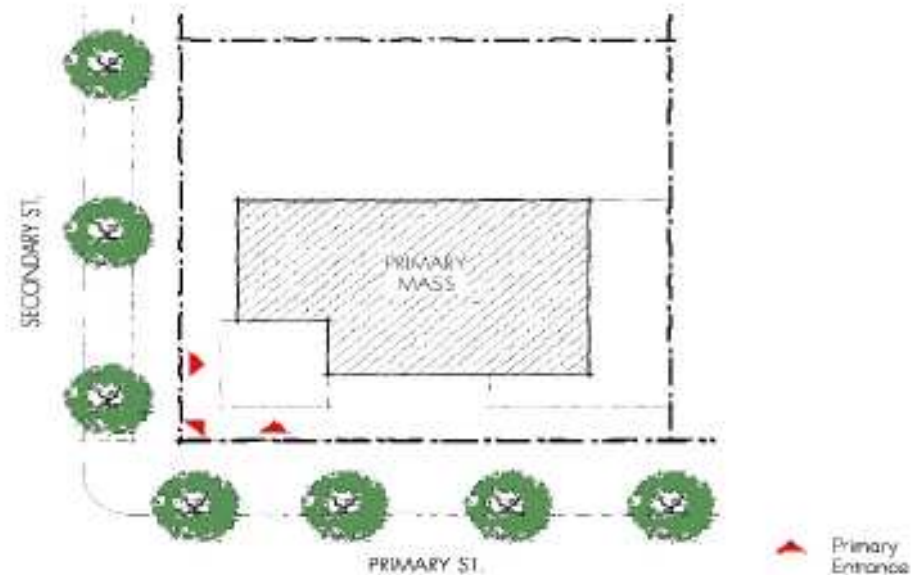


Figure 3.10 – Corner Building Treatment

(Pages 16-27)



# Commercial Design Guidelines: Chapter 4- Building Scale & Form

- Floor Area Ratio (FAR)
  - Measured to interior surface of exterior walls
  - FAR Allowance
    - 0.27 for commercial
    - 0.33 for mixed use
- Height
  - 22' max for C-1
- Building Form



Figure 4.3 – Illustration of Height Limit

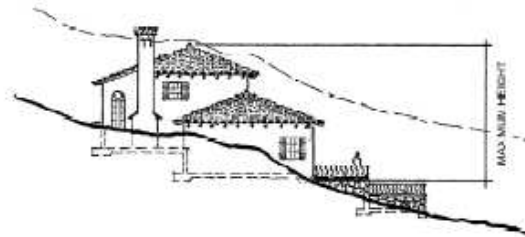


Figure 4.4 – Height Measurement Diagram

(Pages 28-33)



# Commercial Design Guidelines: Chapters 5&6

## Chapter 5- Architectural Features and Elements

- Acceptable and Encouraged, Conditionally Acceptable, and Unacceptable Styles
- Elements: Entrances, Pedestrian Space Fenestration, Garages, and Roofs

## Chapter 6- Building Details

- Exterior Materials, Color, Architectural Details, Windows and Doors, Awnings, Utilities, and Lighting



Figure 5.2 – Seaside Example

(Pages 34-51)



# Commercial Design Guidelines: Chapter 7 – Signage

- Chapter Topics:
  - Styles
  - Locations
  - Materials
  - Lighting



Creative Summerland Signs using Quality Materials

(Pages 52-54)



# Commercial Design Guidelines: Chapters 8 &9

## Chapter 8: Structures of Historical Merit

- CEQA Thresholds and Secretary of Interior Standards

## Chapter 9: Supplemental Materials

- SBAR Findings and Review Checklist
- Notification Requirements for Design Review
- Story Pole Guidelines
- Green Building Design
- Glossary



(Pages 55-75)



# Residential Design Guidelines

- SunPAC Concerns:

- Accessory structures and Residential Second Units
- View protections as it relates to landscaping
- Distinction between urban versus rural areas and policies specific to each
- Rural Issues: Protecting agriculture, Williamson Act, plate heights, structure color, and maintaining rural aesthetic
- Environmental protections (e.g. riparian setbacks and habitat protections)
- Native landscaping, hardscaping, decks, and patios
- Sustainability and promoting solar while minimizing visual impacts of panels
- Protection of urban areas from fire with appropriate clearing in rural areas
- Community plan policies specific to the White Hole area
- Upkeep of property, landscaping, paint, and ROW trash storage



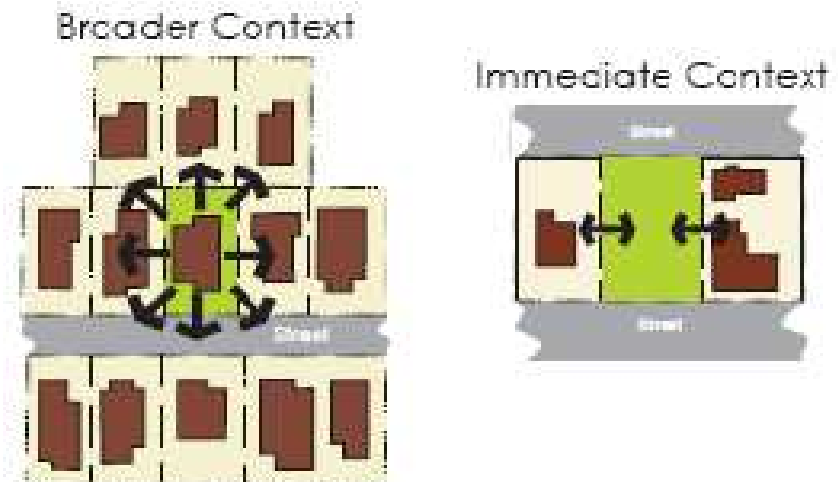
# Residential Design Guidelines: Chapters 1&2

## Chapter 1: Introduction

- Purpose and Applicability, Format and Organization, Legal Authority, Overlay Designations, Review Process, Good Neighbor Practices

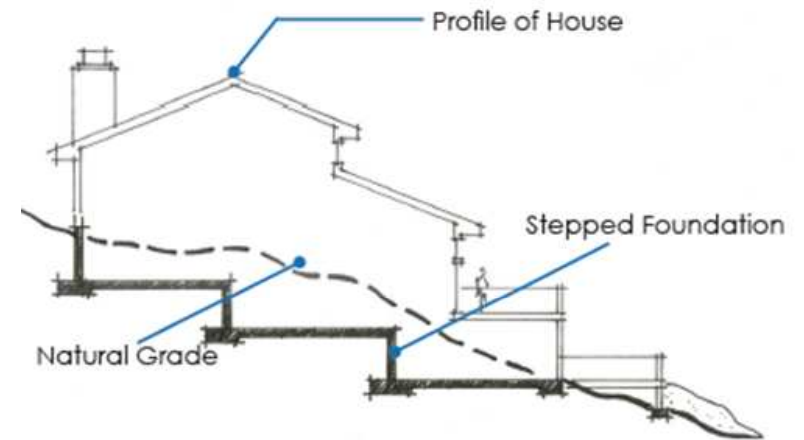
## Chapter 2: Neighborhood Character

- Overall Concept, History, and Neighborhood Character



# Residential Design Guidelines: Chapter 3 - Site Design

- Overall Concept
- Topography & Grading
- Setbacks
- Parking and Driveway Location
- Views and Privacy
- Water Management



Example of a Stepped Structure and Reduction of Apparent Mass, Bulk & Scale



# Residential Design Guidelines: Chapter 4- Building Scale & Form

- Overall Concept: Size, Bulk, and Scale
- Floor Area Ratio (FAR)
  - Change to be consistent with the rest of the County (measured to interior surface of exterior of walls)
  - Up top 300 sf RSU exempt
  - Interior space over 14' counted twice
- Height
  - Change consistent with the rest of the County regulations for the Coastal Zone
- Building Form

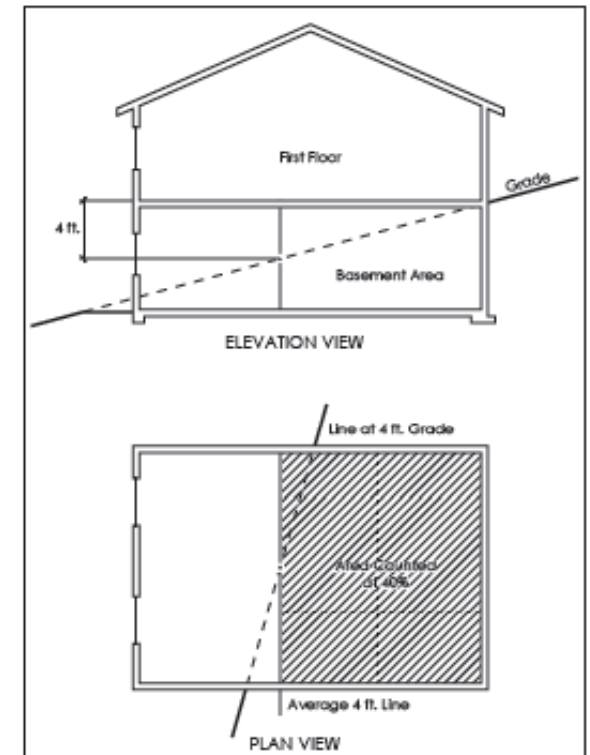


Figure 4.3 - Summerland Residential Basement



# Residential Design Guidelines Chapters 5&6

## Chapter 5- Architectural Features

- Acceptable and Encouraged, Conditionally Acceptable, and Unacceptable Styles
- Architectural Elements: Entries, Garages, and Roofs



## Chapter 6- Building Details

- Exterior Materials: Color, Architectural Details, Windows and Doors



Figure 6.1 - Positive example of Window Relief, Wooden Siding, and Trim Detail



# Residential Design Guidelines Chapters 7&8

## Chapter 7 Topics:

- Garage Conversions

## Chapter 8 Topics:

- Residential Second Units
  - Not discretionary
  - RSU should be consistent with the mass, bulk, and scale of the main house and enhance the architectural character of the overall site.

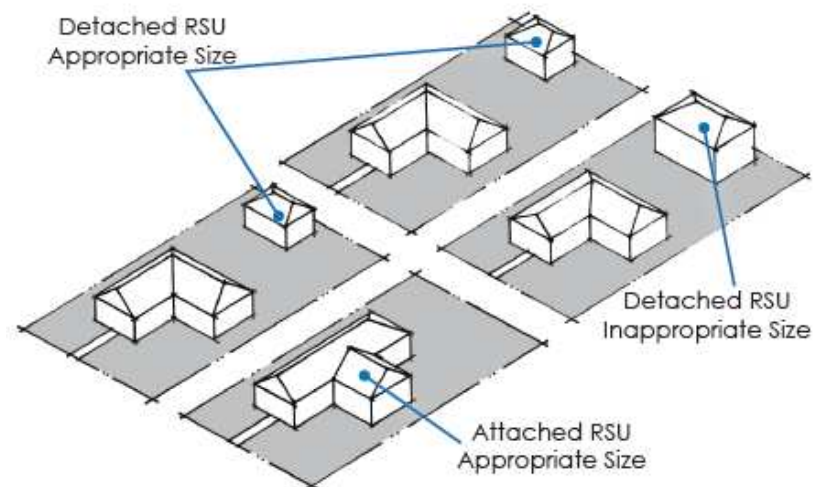


Figure 8.1 - Examples of Appropriate RSU Location and Scale



# Residential Design Guidelines: Chapter 9- Landscape, Hardscape, Fencing, and Outdoor Lighting

- Landscaping
  - Appropriate for Central Coast (native and drought tolerant)
  - Firewise landscaping
  - Resource efficient landscaping
- Hillside landscaping and retaining walls
- Hardscape
- Fencing and Walls
- Outdoor Lighting

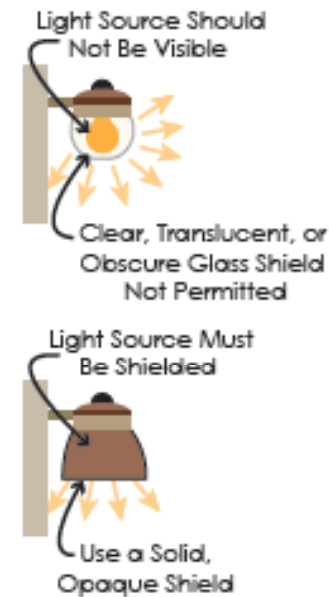


Figure 9.8 – Example of Shielded Outdoor Lighting Fixture



# Residential Design Guidelines Chapters 10&11

## Chapter 10: Structures of Historical Merit

- County of SB CEQA Thresholds and Secretary of Interior Standards

## Chapter 11: Supplemental Materials

- SBAR Findings and Review Checklist
- Noticing for Design Review
- Story Pole Guidelines
- Green Building Design
- Glossary



# Next Steps

- Revise Draft Residential Guidelines based on input received from SBAR on August 28, 2009
- Finalize the Draft Commercial Guidelines
- Draft Phase III Parking, Circulation, and Traffic with SunPAC
- Begin Phase IV & V Environmental Review, Adoption, and Publication and in February 2010 and engage CCC early in process



<http://longrange.sbcountyplanning.org/planareas/summerland/summerland.php>



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